

Canton Downtown Vision and Development Strategy



*At first people refuse to believe that a strange, new thing can be done,
and then they begin to hope it can be done,
then they see it can be done - then it is done,
and all the world wonders why it was not done centuries ago.*

Francis Hodgson Burnett (1849-1924), English writer



Canton Downtown Vision and Development Strategy

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Project overview

The downtown vision was created by the community of Canton and will guide all future activities.

In economics, it is the differentiated product that commands a monetary premium. How is Canton different than anywhere else in the world? To preserve downtown is your comparative advantage. The appropriate rehabilitation of your historic commercial buildings will improve the image of the downtown and create a distinct environment for success. We must retain our identity, culture and natural features as restaurants, housing, entertainment and the arts become bigger components driving downtown development.

The Canton Downtown Vision and Development Strategy project was coordinated by Special Place Development of Columbia, Missouri. The firm develops creative approaches to distinguish places by enhancing their authentic features to make them attractive for economic development and as a special place for residents and visitors.

Purpose

- Identify Key Issues in Downtown Canton
- Create a Vision (pictures & words)
- Develop Consensus & Establish Priorities For Future Activities

The purpose of this study was to develop a vision and provide conceptual ideas to create a more cohesive downtown by identifying development opportunities and physical improvements that would further enhance local economic conditions. A primary goal was to help the community understand how to enhance the downtown district by utilizing the historical, cultural and natural elements specific to Canton. The boundaries for our focus were Washington Street to 7th Street to White Street to the Mississippi River. However, some conceptual drawings, projects and recommendations extend throughout the community.

Consultant Team Members

Local issues and needs required a customized consultant team to address these concerns and identify appropriate opportunities. Team members were:

Randy Gray, President

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Robert Claybaugh, AIA

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Arthur Mehrhoff, Ph.D, Academic Coordinator

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We provided more than 112 years combined experience in downtown development, urban design, heritage tourism, group facilitation, public art, graphic design, historic preservation and landscape architecture. Team members have assisted numerous small, Midwestern communities and brought a national perspective to this project.

Services

1. Exploration & Assessment

We gathered information from various representatives and organizations to begin identifying business, scenic, artistic, natural, historical, musical, ethnic, cultural, recreational, literary, social, architectural, culinary and economic features. Canton compiled base maps, photographs and essential background materials to prepare for visit #2.

2. Vision & Conceptual Development

Development Strategies: The purpose of the 3 day on-site visit was to solicit public input, ideas and support for downtown's built environment resulting in detailed conceptual drawings that may include entryways, streetscape improvements, infill development, coordinated signage program, trails and potential connections to the Mississippi River.

Our team gathered input, identified and recognized local issues, history and values. We returned (visit #3) with a detailed conceptual plan for development opportunities, infill construction, streetscape elements, recreational facilities, community trail, etc.

Vision Planning Workshop: A 3-hour evening, participatory workshop helped the community articulate the future downtown conditions it hopes to achieve through an active program of revitalization. A consensus building process was used to assess existing assets and identify current and anticipated needs. It is a democratic procedure structured to encourage both individual and group ownership of the conclusions reached during the session and, ultimately, the development strategies taken on behalf of the community.

The Vision methodology consisted of a two-part process: community constituents provided input about various aspects of downtown by answering a series of questions, discussing and coming to agreement in small groups, and, finally, prioritizing the items they identified. Using the words and items identified directly by community representatives, our team of facilitators recapped the top priorities and crafted a draft downtown vision statement.

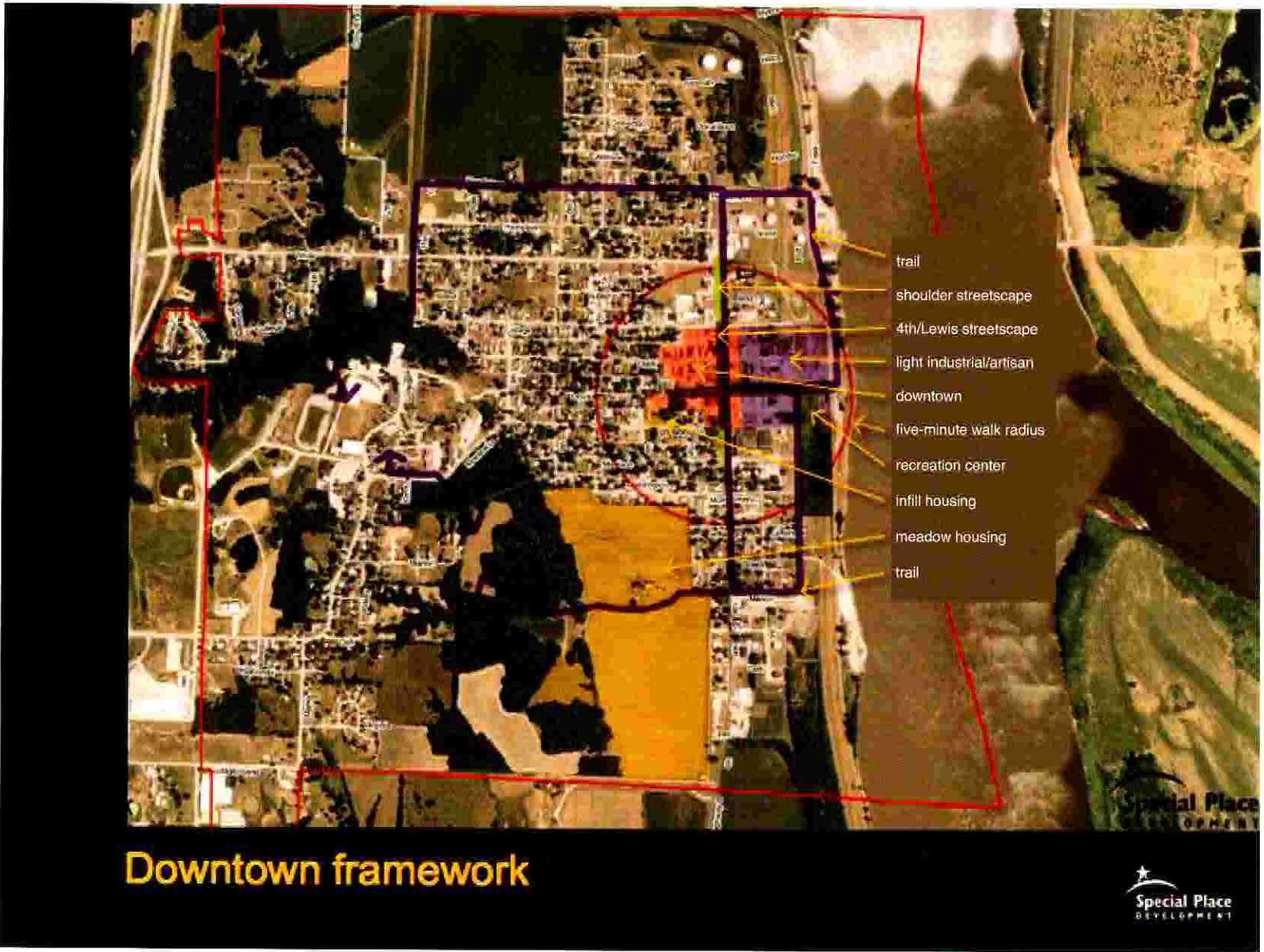
Infill Development Concepts and Building Rehabilitations: our team identified development sites utilizing the appropriate rehabilitation of existing buildings and new construction, and met with targeted property owners. We began to determine appropriate building styles and compatible materials; including facade renderings and/or sketches for infill buildings (form, shape, style, setback, etc.).

3. Community Presentation of draft Vision and Development Strategy

- A. The Vision and Development process will help establish community consensus about what the downtown should become in the future. Our goal is more than just drawing "streetscape" ideas. It is to bring the downtown district together, creating cohesiveness through a vision process that will identify development opportunities and physical improvements.
- B. A "draft" Vision statement was provided describing a "preferred future" identified by community representatives. Future projects should be developed based on the resulting vision and subsequent priorities.
- C. These visual materials will provide opportunities to strengthen the identity of downtown Canton through infill development concepts and building rehabilitations. We identified the key elements of commercial buildings and provided facade renderings and/or sketches and preliminary concepts for new infill development to help create a more cohesive downtown district.

4. Implementation Strategies and Organizational Development Issues,

Randy Gray delivered the final version of the "Downtown Vision & Development Strategy". Mr. Gray will also provide additional technical assistance with the downtown partners.



Aerial Photo - PowerPoint Slide

Vision for Downtown

Draft – March 2008

The Community's Vision for Downtown Canton grew out of a cooperative and creative effort between Canton civic leaders, Culver-Stockton College students, and the citizens of Canton, Missouri, assisted by the Special Place Development consultant team. The "draft" vision reads as follows:

In the future, Downtown Canton will be known as a beautiful and inviting center of community life. Downtown Canton will be celebrated as the place where residents still know and care about one another on a personal basis despite major physical and economic improvements that have attracted many new residents, businesses and property owners. Downtown Canton's restored historic buildings and complementary new construction, lively shops, restaurants and a wealth of entertainment opportunities, its safe and attractive streetscape, inviting parks and public spaces, and especially its close connections to and celebration of the mighty Mississippi River, will offer Canton residents the best of small town living.

Downtown Canton will be a vibrant, arts-centered riverfront community. It will bustle day and night with visitors and shoppers who frequent our prosperous locally-owned retail establishments, service businesses and professional offices located in safe, carefully maintained or restored downtown buildings. Shoppers will dine at unique downtown restaurants, refresh themselves at sidewalk cafes, enjoy downtown's pleasing streetscape and recreational amenities, and stroll along the famous Canton Riverwalk that ties many downtown attractions together. The streets stay alive at night as Culver-Stockton College students, local residents, and fascinated visitors alike enjoy Downtown Canton's exceptional dining and vibrant entertainment offerings in the arts, music, and Lewis Street Playhouse.

People from all walks of life will choose to live in this active center of community life, now widely known as a desirable place to live and do business. Residents and visitors alike will be excited to spend an hour, an afternoon, or a day uncovering the charms of this historic yet vibrant river town.

*"You don't design the future
by what you do now,
you do now based on
your vision of the future."*

-Plato

The public, community-based downtown vision meeting was held March 4, 2008, at the Immanuel Methodist Church. Approximately thirty (30) people participated in the activity.

During the March 4 Vision development session, participants identified the following dreams, ideas, issues, and concerns for downtown Canton as among the most important. All items reported are listed in this document. Voting tallies are listed after each item.

1. List 5 positive things about Downtown Canton today – things that you are most proud of:

- Movie theatre renovation – Lewis Street Playhouse, 201
- River access (campground & ferry), 113
- Support of school system, 25
- Nice, well-managed businesses, 21
- Nicely restored older buildings/post office/historic building upkeep, 15
- Public Library, 13
- Public services, 10
- Arts Council Gallery, 9
- Historical society, 3

2. List 5 negative things about Downtown Canton today – things that you are most sorry about:

- Missing buildings/vacant lots/shabby buildings, 178
- Empty store buildings (looks depressed) & cluttered storefronts, 68
- Lack of all-purpose community center, 40
- Metal buildings, 32
- Lack of jobs keeping here (economic viability), 28
- Lack of community support, 24
- Lack of appealing streetscape/curb appeal, 23
- Poor streets and sidewalks, 22
- City hall building, 11
- Lack of retail businesses, 5

3. What are Downtown Canton's three best opportunities for the future?

- Tying downtown into the Mississippi River, 188
- Destination restaurant & shops, 64
- Arts council & strengthen art community, 54
- Lock & dam project (expansion/new construction), 36
- Historic preservation, 29
- Beautification, 15
- E-commerce, 12
- Professional office space, 10
- A niche community, 10
- Involvement of local youth, 7
- Avenue of the Saints, 5
- Opportunity to sell real estate more economically, 1

4. What are the three greatest liabilities or threats facing Downtown Canton?

- Doing nothing & property owner same, 132
- Code/zoning enforcement/compliance, 91
- Retention of youth, 60

- Lack of appeal for new business to open, 46
- Apathy/inertia, 42
- Lack of public funds for infrastructure, 25
- Perception & self perception, 10
- Elderly aging population, 3
- Highways are threat unless we get them to stop, 1

5. List three reasons why downtown is important to the future of the Canton community?

- Economic – sustain the tax base, 126
- Community pride / identity, 73
- Attract college students, 62
- It's the community center/core of the community, 59
- Brings people to town, 35
- Provide jobs, 23
- Without viable town property values decrease, 11

6. List three things about Downtown Canton that should change immediately:

- Building facade clean up / improve storefront appearance, 135
- Building code standards, 72
- Need signage and banners, 52
- Economic incentives and opportunities, 47
- Sidewalks and clean up, 45
- Advertising, 35
- Consistency of architecture, 4

7. List three things about Downtown Canton that should never change:

- Riverfront importance, 125
- Locally owned businesses, 86
- Historic (historical) buildings, 71
- Location of school and churches, 25

- Post office, 20
- Always have food/restaurants downtown, 3
- Soda fountain, 1

8. List three distinctive, distinguishing or defining features of Downtown Canton in 2018:

- Vibrant destinations, downtown restaurants and shopping, 123
- Walkways, access to river & tie to main street (downtown), 112
- Historical architecture, 45
- Better streets & infrastructure, 38
- New city hall, 21
- Community theme, 5
- Unique attraction like the “Magic House” in St. Louis, 5
- Restored buildings, 2

9. List three single words that will describe Downtown Canton in 2018:

- Attractive, beautiful, inviting, 128
- Prosperous, 86
- Vibrant, 84
- United, 58
- Clean, 39
- Dynamic, 17
- Bustling, 8

10. In one short sentence, what Downtown Canton will be “known for” in the year 2018.

- A desirable place to live and do business, 165
- Downtown canton will be a vibrant, arts-centered riverfront community, 128
- My children grew up in a community which allowed / inspired them to participate and therefore stay, 113

11. List three things that will be part of the “right mix” for Downtown Canton in 2018.

- Entertainment / arts, music, theatre, 161
- Eating, 78
- Attractive shops, 53
- Retail/professional offices, 36
- Networking for success, 32
- Selling unique merchandise/niche retail, 23
- E-commerce, 6

12. It’s 2018. Everything has gone right – the downtown development effort has been hugely successful. You’re in a hot air balloon, looking down at Downtown Canton. What do you see?

- Walking paths to river, points of interest & parks, 97
- New downtown buildings & updated, 80
- Clean pretty landscaping (canopy of trees) & architecture (coordinate), 79
- Neat, tidy attractive buildings, 56
- Traffic downtown, 31
- Happy busy people/kids, 22
- Safety, 10
- Restored homes, 1

13. What’s the one thing you want your children and grandchildren to remember most about Downtown Canton?

- It’s the best of small towns, 193
- It is a pleasure to say hello to friendly faces on the street and some even reply with a friendly “how are you”, 126
- Soda fountain / ice cream, 73

* Due to individual participant’s various departure times, all categories may not have the same total votes.

Downtown Visioning Session with C-SC Students Monday, March 3 @ 7pm Meaders Lounge – Student Center

Twenty nine students and two faculty members attended the Downtown Vision Session led by Dr. W. Arthur Mehrhoff of the Special Place Development consultant team. The purpose of the session was to involve Culver-Stockton students in the Canton Downtown Visioning process and to solicit their recommendations for improving the downtown. The students who were present at the visioning session indicated a strong interest in the downtown visioning process and a willingness to integrate it into their experiential learning for their classes.

Dr. Mehrhoff began the session by asking the students to consider the question “What is the future?” Students then discussed the idea that “the future” represents a mental image which actually shapes their present behavior and the subsequent importance of developing a strong, positive image of the future in order to help make it actually happen.

With that general understanding of community visioning and its importance, students then considered and discussed the related question “What could Canton develop downtown that would enhance your student experience here?” Students singly and in groups identified several key categories for improvement (no particular ranking):

•Food (not surprisingly):

- More restaurants
- A coffee shop with longer hours
- A sports bar
- A trendy hangout
- Scenic dining along the river

• River improvements:

- A picnic pavilion
- Open recreation areas
- A river interpretive trail

• Beautification:

- Make it happier!
- Street lighting (for both safety and aesthetic purposes)
- Public art
- Look like a college town rather than a ghost town
- A recycling drop-off
- An events billboard
- A connected walking/cycling route

Dr. Mehrhoff then asked the students to think forward twenty years to when they were Culver-Stockton College alumni, perhaps looking forward to the annual Homecoming events or talking to their own children about the college. What sort of place could Canton become in the next twenty years? Dr. Mehrhoff asked landscape architect Michael Schroeder to discuss his experiences working at the University of Minnesota-Morris, whose students have made energy efficiency and alternative energy solutions the key concept for the campus’ strategic planning. Student suggestions for this time horizon ranged widely:

- Better relations between the college and Canton (eg, better off-campus housing options for students)
- A no-smoking ordinance for restaurants and public buildings
- A youth center or community recreation center
- Restore the historic houses and add buildings that fit the town’s historic character

A lively general discussion then followed about the importance of historic preservation. Dr. Mehrhoff pressed the students on why they cared so much about old houses built well before their time. A number of students responded quite strongly that such houses were essential to their sense of history and even to their personal identity. A suggestion was made to recognize 100-year old "Centennial Houses" in Canton on an annual basis. One student summarized the importance of maintaining historic commercial and residential structures by stating, "it's the history of who we are, where we came from."

"The Student Experience" Downtown Canton – Shaping the Future

Monday, March 3, 2008, from 7 p.m. – 8 p.m.,
Meaders Lounge in the Student Center.

The City of Canton, Culver-Stockton College, area residents and community organizations have partnered with Special Place Development to gather community input for the creation of a downtown vision and development strategy.

Culver-Stockton students like you are vital to the future of this community. Therefore, a special C-SC student session will be held. The purpose is to solicit input and identify amenities that will further enhance your experience.

Key discussion points are:

- What could Canton develop downtown that would enhance your experience here?
- What improvements or developments will help attract future students to Canton?
- How could Canton capitalize on small town trends such as Heritage Tourism, the Arts and Alternative Energy that would encourage you to stay or return to the community after graduation?

All students are welcome and encouraged to attend.
Dessert will be provided.

Special Place Development provides creative approaches to distinguish places by enhancing their authentic features to make them attractive for economic development, residents and visitors. The four-person consultant team will provide creative yet practical concepts customized to accent and complement the distinct features of Canton. The team brings more than 112 years combined experience in downtown development, heritage tourism, group

facilitation, urban design, public art, graphic design, historic preservation and landscape architecture to this project.
Team members are:

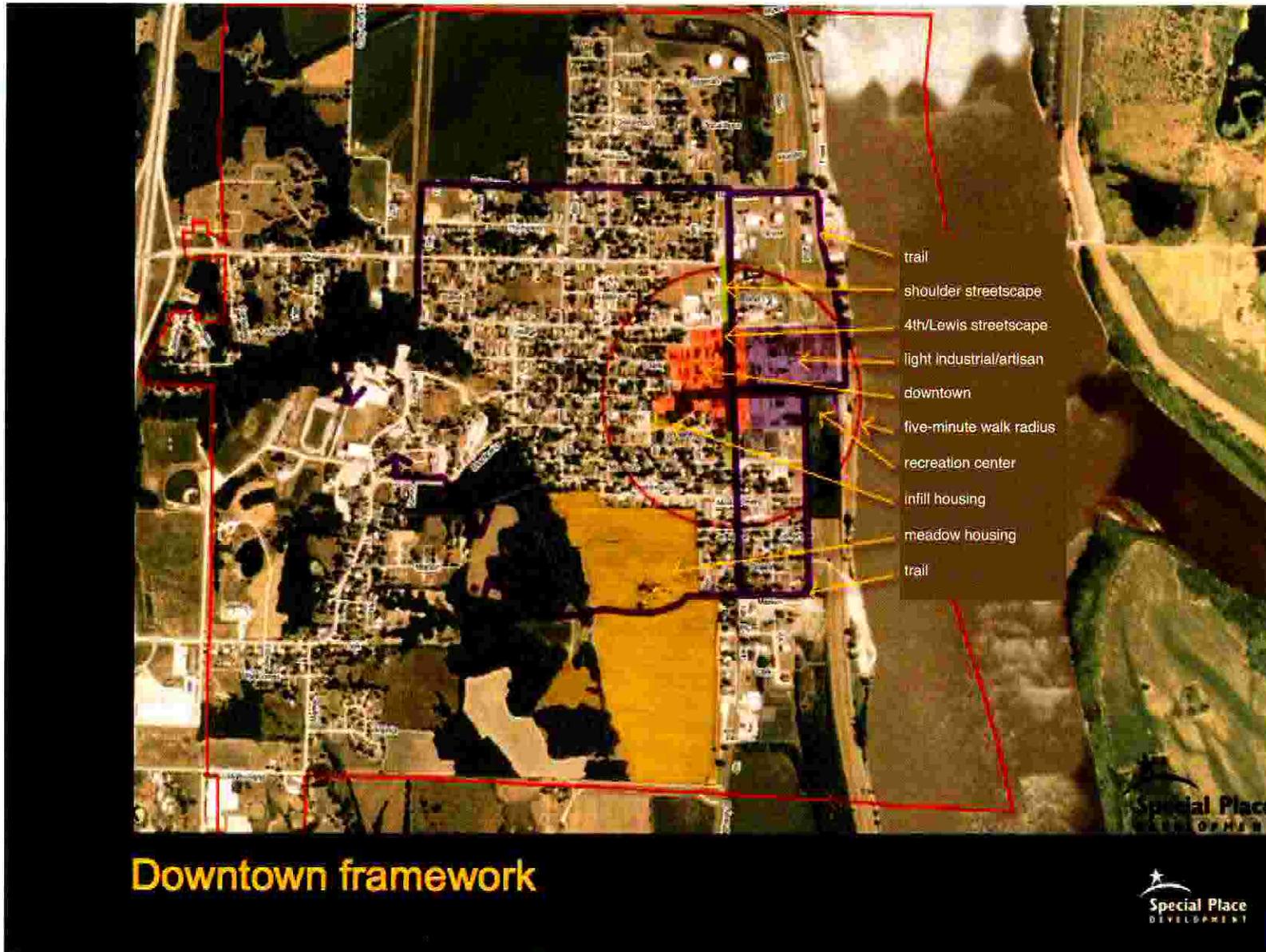
- Randy Gray, President, Special Place Development
- Michael Schroeder, Director, Urban Design, LHB Corp.
- Arthur Mehrhoff, Writer, Consultant, Emeritus Professor
- Robert Claybaugh, Principal, Claybaugh Preservation Architecture, Inc.

Conceptual drawings and recommendations

The conceptual drawings and recommendations address the key issues identified through the public process. They focus on both private and public sector activities. There are recreational and residential components, new infill development, building renovations, streetscape and downtown lighting. A primary characteristic of downtown development in Canton is the idea that retail will follow rather than lead the revitalization effort. At this stage, Canton should focus on physical improvements that will enhance the downtown district and attract future investment and new businesses.

The boundaries of our focus were Washington Street to 7th Street to White Street to the Mississippi River. However, some conceptual drawings, projects and recommendations extend throughout the community.

Concepts for private and public development projects were shared by the consultant team with the Canton community on March 24, 2008, at the Comfort Inn conference room. A Power-Point presentation was provided and is on the City's web site.



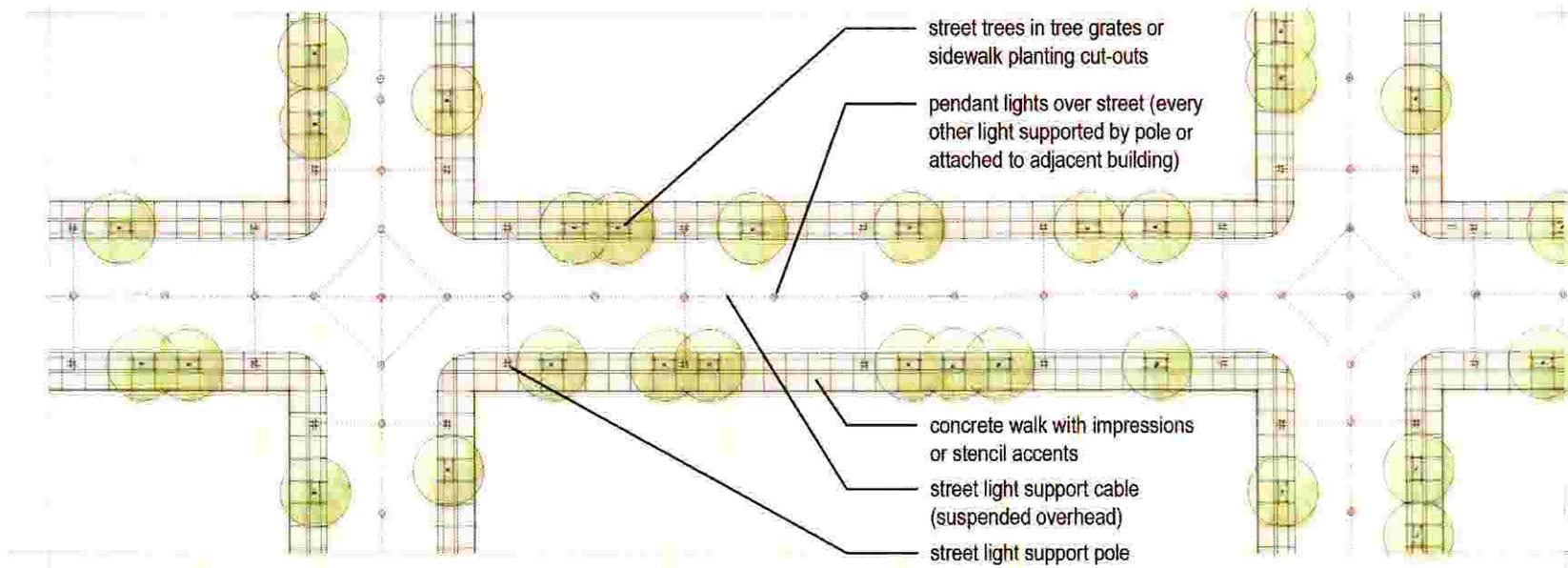
Aerial Photo - PowerPoint Slide

Downtown streetscape



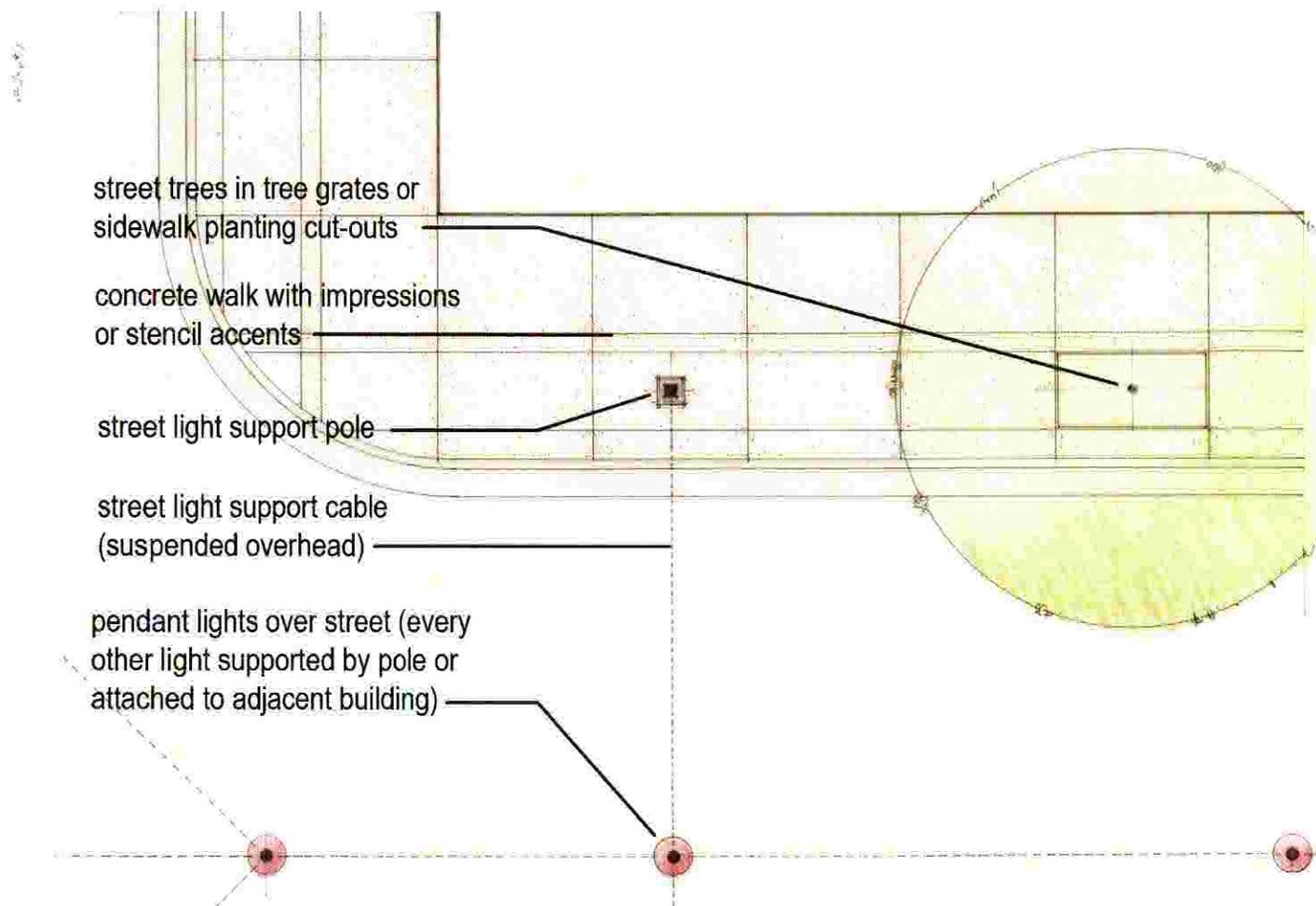
Aerial Photo - PowerPoint Slide

Streetscape plan typical block



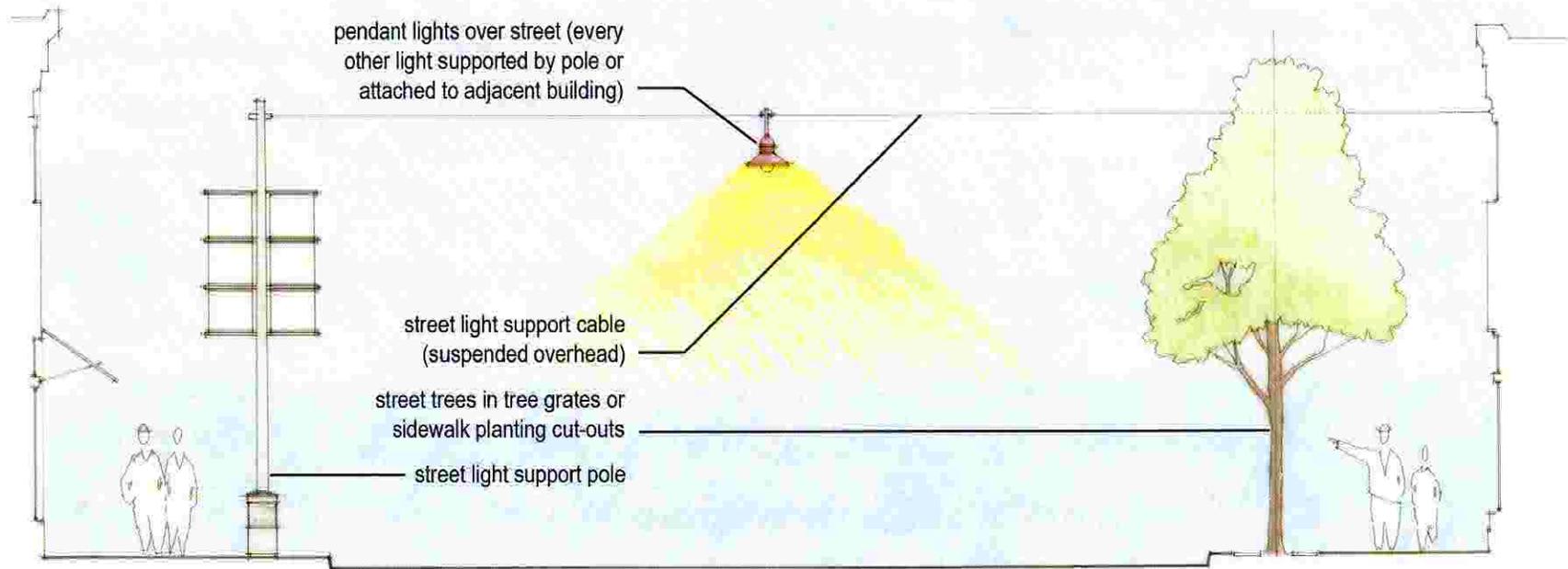
Conceptual Drawing

Streetscape plan detail



Conceptual Drawing

Streetscape cross section



Conceptual Drawing

4th Street streetscape



Conceptional Drawing

4th Street streetscape with new building at Clark Street



Conceptual Drawing

4th Street and Lewis Street streetscape



Conceptual Drawing

4th Street streetscape with Capp's infill at the corner of Lewis Street



Conceptual Drawing

Lewis Street - *historic lights*



Historic Photo

East Lewis Street - *historic lights*



Historic Photo

Lighting example



Current Photo

Amsterdam, The Netherlands

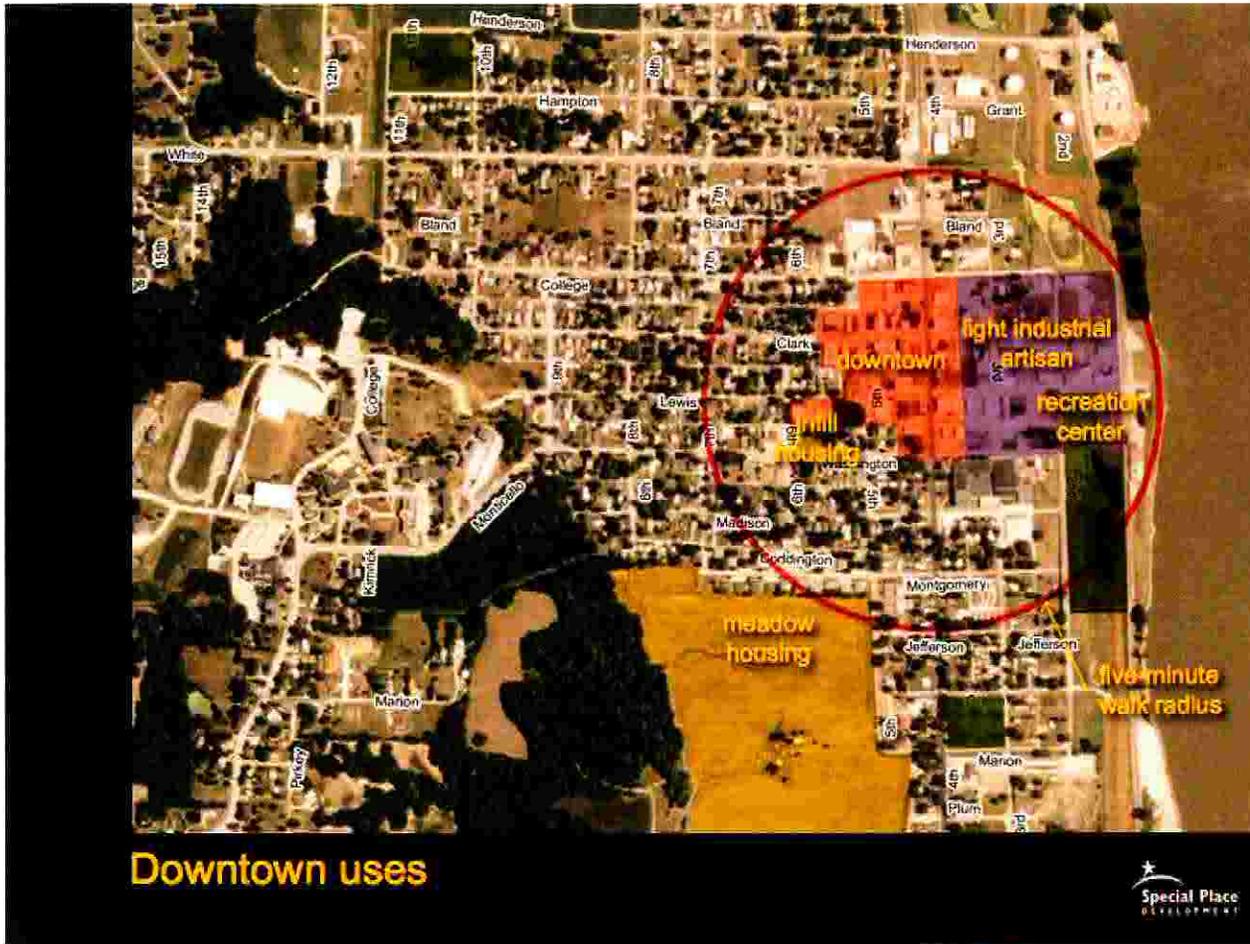
Holiday lighting example



Modern Photo

Whitefish, Montana

Downtown uses



Aerial Photo - PowerPoint Slide

Downtown design principles

1. Historic Character:

- Preserve historic character.
- New development should respect historic character.

2. Building Frontage:

- How the building (private) relates to the street (public)
- F1 Storefront most typical in downtown district
- F3 Door Yard also exists in downtown district.
- F5 Porch Yard is typical in surrounding residential district.

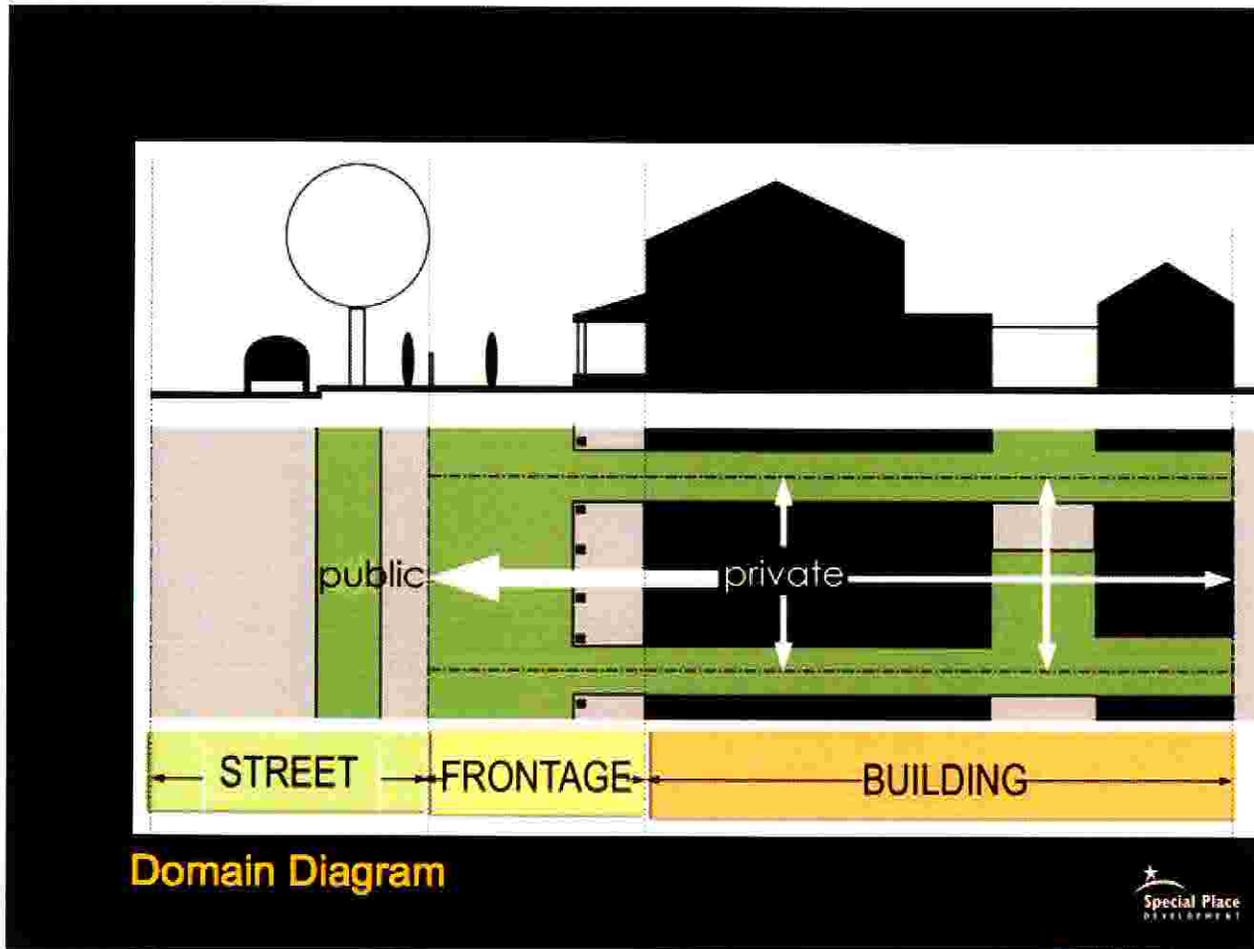
3. F1 Frontage Design Elements:

- Uses:
 - Mixed use with retail/commercial on ground floor.
 - Live or work on upper floors.
- Building Placement:
 - Zero setback from street and side yards to maintain street wall.
- Building Height:
 - Minimum 14 to 16 feet.
 - Maximum 3 stories and no more than existing historic buildings.
- Street Level:
 - Transparent to encourage pedestrian traffic.
 - Minimum storefront heights to match historic buildings (12 to 14 feet).
 - Masonry or stucco similar to historic buildings.
- Upper Level:
 - Vertical proportion windows similar to historic buildings.
 - Extend street level materials and detailing.
 - Cap wall with cornice similar to historic buildings.
 - Sloping or flat roofs behind building parapet.
- Awnings:
 - Fit within masonry storefront openings with top at top of opening.
 - Fabric awnings similar to historic character.
 - Fixed or retractable in traditional shape.

• Signs:

- Size and placement to fit architectural features.
- Painted on wood, metal or glass.
- Externally lighted.
- Signs can be on wood, glass or awning or projecting from wall.
- Sign area to be regulated by square footage of each type and number.

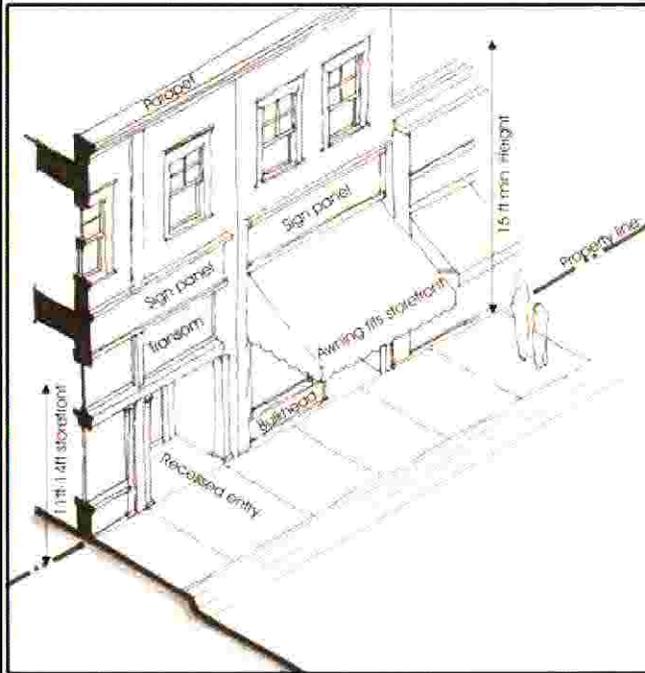
Domain diagram



Conceptual Drawing

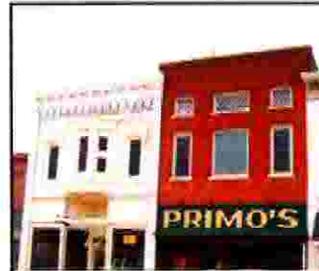
Frontage design

CANTON FRONTAGE TYPE DESIGN GUIDELINES 10-14-02 by RJC & PJM



F1 Storefront

The storefront is the typical late 19th and early 20th century commercial building in the central business district. These buildings usually range from one to three stories with commercial spaces on the ground floor with high ceilings and storefronts to bring the maximum amount of light into the space. Retractable awnings protected the merchandise from the sun when required. The upper floors were often warehouse spaces accessed by internal stairs, or offices and apartments accessed by separate stairs at street level.



Typical Storefront

Frontage Type Design Guidelines



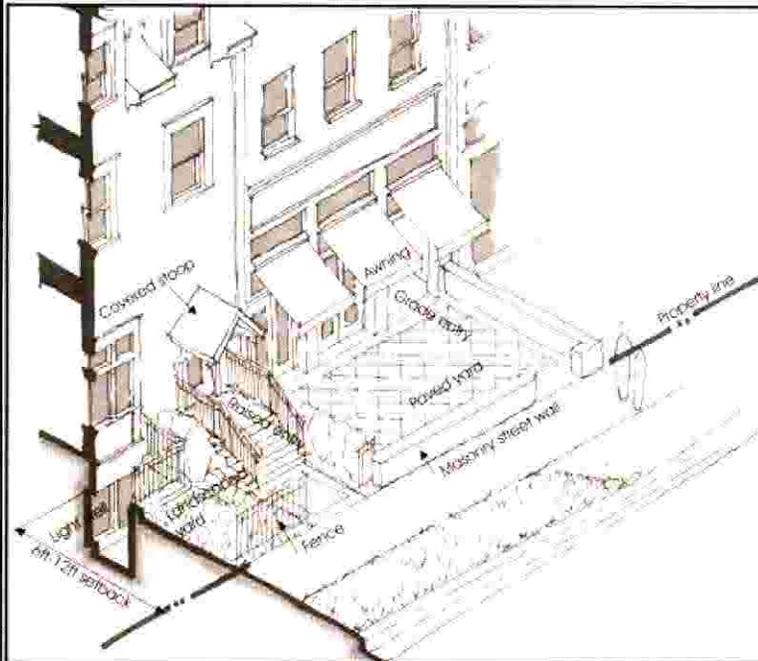
Conceptual Drawing and Current Photo

Frontage design

CANTON FRONTAGE TYPE DESIGN GUIDELINES

10-15-02 by RJC & PJM

F4 Door Yard



The door yard is a shallow urban yard that can be a semi-private garden paved patio with a low street wall, or open and inviting. Ground floor can be raised above grade in a residential use to create privacy. Entry is marked by a recessed door or and covered stoop.



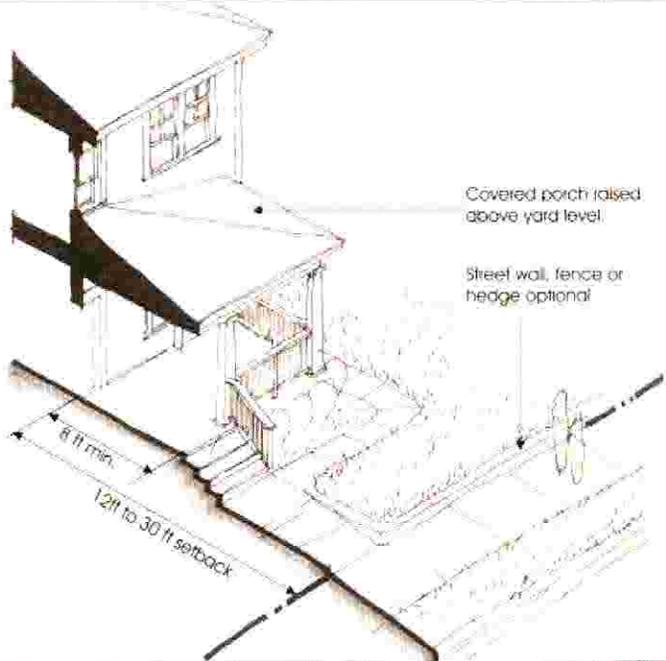
Door Yard Example

Frontage Type Design Guidelines



Conceptual Drawing and Current Photo

Frontage design

<p>CANTON FRONTAGE TYPE DESIGN GUIDELINES 11-11-02 by RJC & PJM</p>	<p>F5 Porch Yard</p>
	<p>The porch yard is a landscaped garden or lawn with a path leading to an open covered porch and entry door. The porch and ground floor are raised above grade to create a semi-private outdoor space that is welcoming from the street. A low street wall, fence or hedge at the property line adds more privacy to the yard.</p>
<p>Frontage Type Design Guidelines</p>	 <p>Canton Porch Yard</p>

Conceptual Drawing and Current Photo

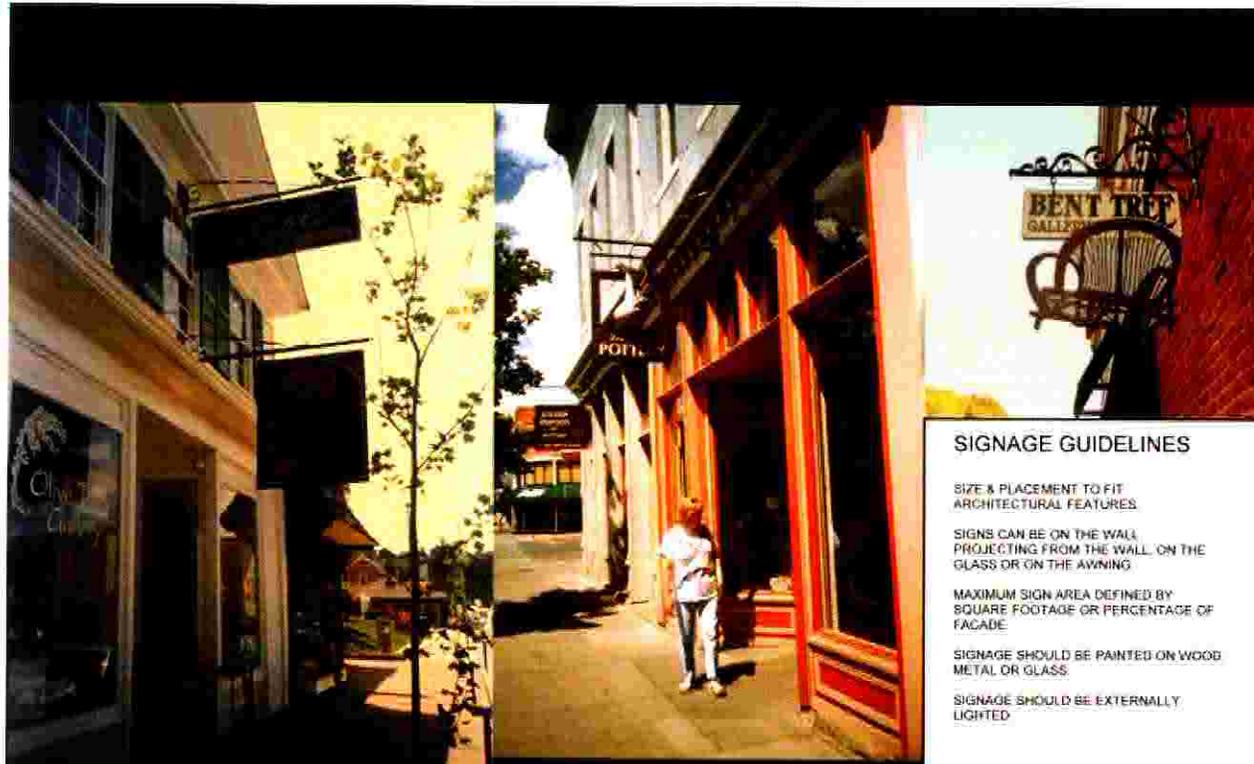
Historic precedent



An early 1930 picture taken from window of corner room of old hotel building at northeast corner of 4th and Clark Sts. Photographer may have been Abe Detwiler who had a studio on 2nd floor of building then occupied by Jones & Marks Men's Wear (now Primo's). Businesses identified from right to left: The Corner Drug, Besteco Store No 40 (a grocery), Cason Clothiers, Gross Jewelry, Turley & Jones Ladies Wear, Orville Braderick Drug Store, Jones & Marks Men's Wear, T.A. Nelson Variety, A&P Grocery and rear entrance to mercantile store in corner building, and the Music House on second floor.

Historic Photo

Signage design



SIGNAGE DESIGN ENHANCES BUILDING & STREET
Signage Guidelines

SIGNAGE GUIDELINES

- SIZE & PLACEMENT TO FIT ARCHITECTURAL FEATURES.
- SIGNS CAN BE ON THE WALL, PROJECTING FROM THE WALL, ON THE GLASS OR ON THE AWNING.
- MAXIMUM SIGN AREA DEFINED BY SQUARE FOOTAGE OR PERCENTAGE OF FACADE.
- SIGNAGE SHOULD BE PAINTED ON WOOD, METAL OR GLASS.
- SIGNAGE SHOULD BE EXTERNALLY LIGHTED.

Special Place DEVELOPMENT

Current Photos

Awning design



AWNING DESIGN ENHANCES BUILDING & STREET

Awning Guidelines

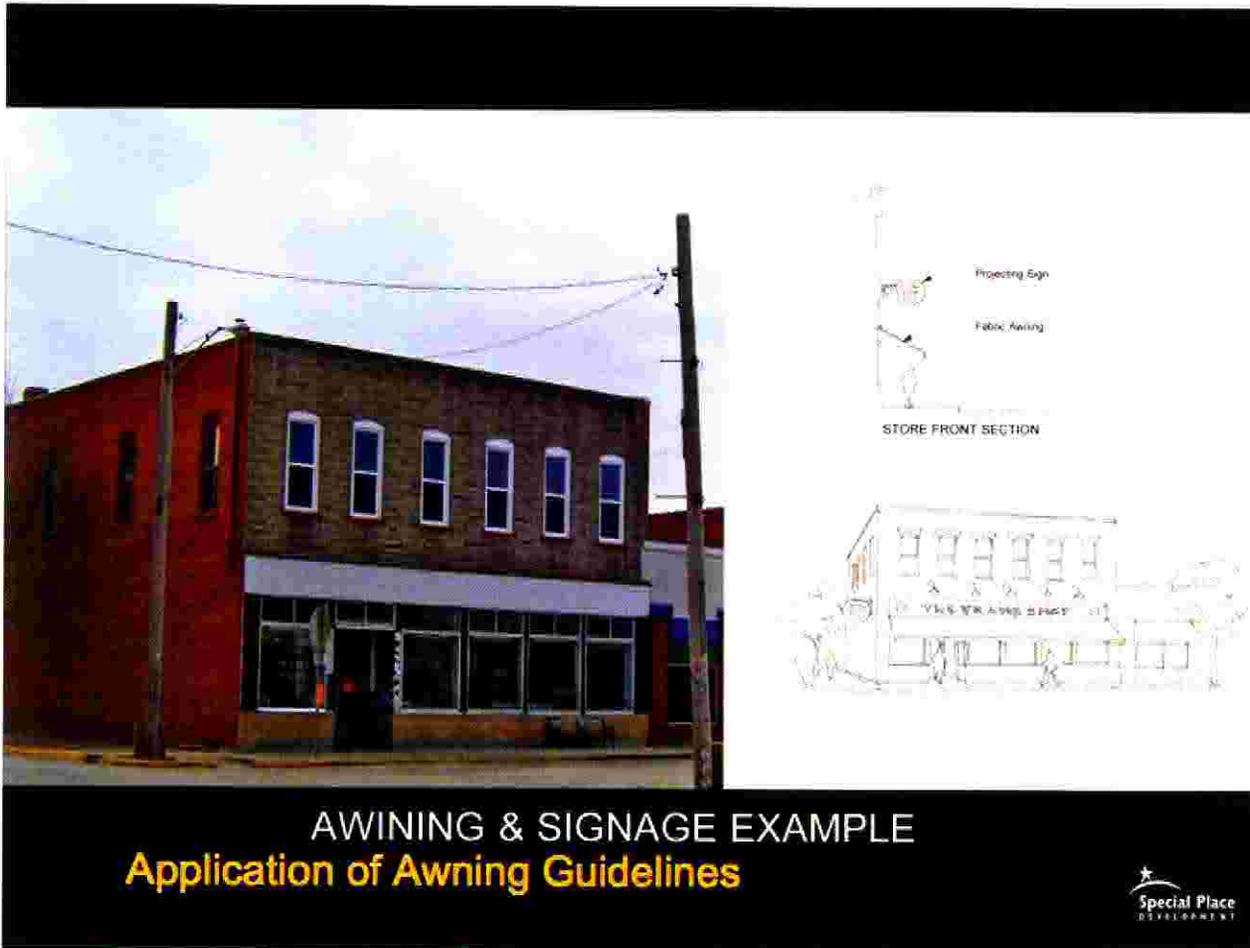
AWNING GUIDELINES

- SIZE & PLACEMENT TO FIT WITHIN MASONRY STOREFRONT OPENINGS
- TOP OF AWNING AT TOP OF TRANSOM OR STOREFRONT
- FABRIC AWNING MATERIAL AND SHAPE TO FIT HISTORIC BUILDING STYLE
- AWNINGS MAY BE FIXED OR RETRACTABLE
- AWNINGS MAY HAVE GRAPHICS
- AWNINGS TO BE EXTERNALLY LIGHTED

Special Place DEVELOPMENT

Current Photos

Awning and signage



AWINING & SIGNAGE EXAMPLE
Application of Awning Guidelines



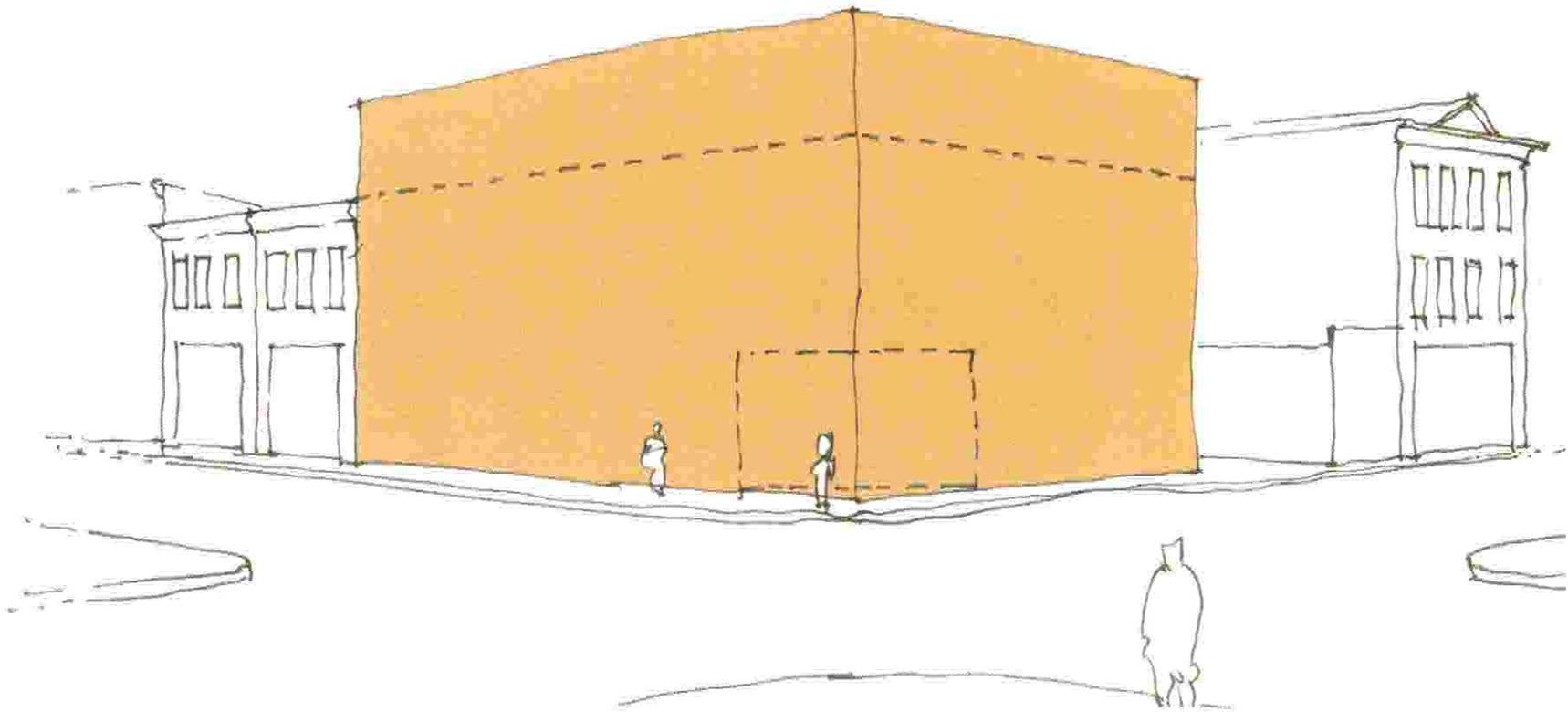
Conceptual Drawing and Current Photo

4th and Clark - *current*



Current Photo

Infill building



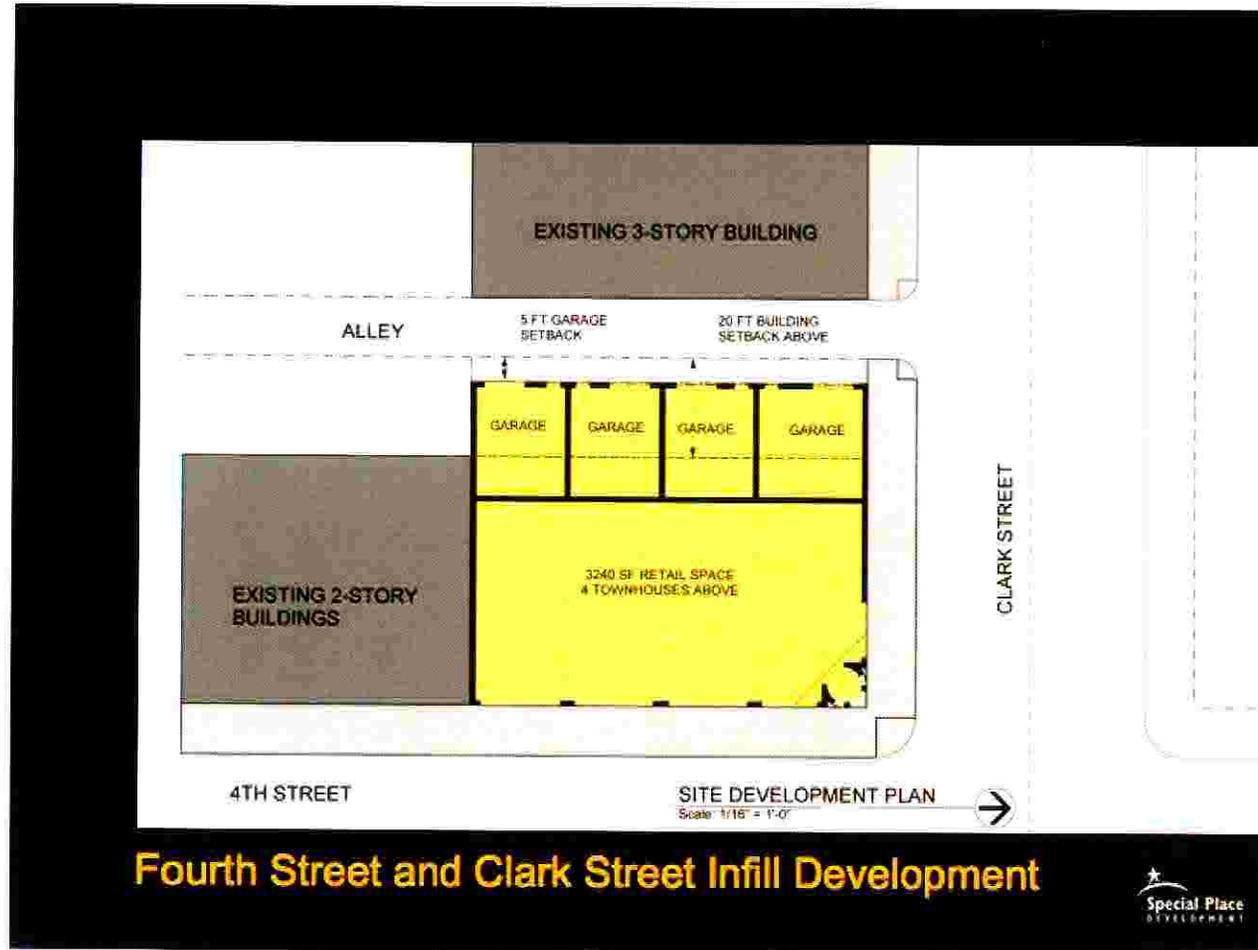
Conceptual Drawing

4th and Clark - *infill*



Conceptual Infill Drawing

4th and Clark - infill development



Conceptual Drawing

4th and Clark infill design principles

1. Uses:

- Mixed use building to infill an important downtown corner site.
- Ground floor commercial uses that promote pedestrian traffic.
- Two story living units above with prime river views.
- Some units could be three floor live/work units.
- Tuck under parking garages for residential units off alley.

2. Building Placement and Height:

- Build to street and side yard property lines to replace missing historic building mass.
- Corner downtown sites were often taller to accentuate the corner and take advantage of two street frontages. Build three stories to replace missing historic building mass.

3. Building Street Wall:

- Brick or stone masonry exterior walls to complement the historic building character. An historic building style is not required but the scale of the building and its materials should complement the historic buildings.
- Ground floor storefront height of 14 feet to match adjacent buildings particularly the IOOF building. The ground floor should be transparent.
- The upper floor windows should be vertically proportioned to complement the historic buildings.
- Cap the building with a cornice.

4. Awnings and Signs:

- Provide fabric awnings at storefront openings to provide shelter, color and signage at the street/pedestrian level.
- Provide wall, window and projecting signs to fit architectural features of the building.

5. Building Areas:

- **Building footprint:** $50\text{ft} \times 80\text{ft} = 4,000\text{sf}/\text{floor} \times 3 = 12,000\text{sf}$ plus garage extension = 1,200sf.
- **Commercial space:** $41\text{ft} \times 80\text{ft} = 3,980\text{ sf}$. There would be 800 or 900 sf of 1st floor work area per living unit if sold as live/work unit.
- **Residential unit A:** $18\text{ft} \times 50\text{ft} = 900\text{ sf}$ 2nd flr + $18\text{ft} \times 38\text{ft}$ 3rd flr = 684sf. Total 1584sf
- **Residential unit B:** $21\text{ft} \times 50\text{ft} = 1,050\text{sf}$ 2nd flr + $21\text{ft} \times 38\text{ft}$ 3rd flr = 798 sf. Total 1,848 sf
- Residential floor area is net within exterior walls and does not include 12ft deep recessed balcony or the garage extension area of 15 ft.

Canton, Missouri city code

Accepting the prevailing standards often means we have no standards at all. Existing building codes must be enforced. It is unacceptable to have the tragic loss of lives and structures if such tragedies could be prevented through the enforcement of existing codes. Is it possible that insurance rates may be affected by this issue? Could more money remain with property owners if we were to better address the issue? Please use the Lewis Street Playhouse as a good example addressing safety, fire escapes, exits, etc.

1. B-1 Central Business District

• Current Zoning:

- Limits building height to 2 stories and 30 feet.
- Adjacent commercial and residential districts allow 2 ½ to 3 stories and 35 feet.
- Diagonal cutout requirement destroys holding historic building corner.
- Won't allow replication of existing historic character of district.
- No signage ordinance.

• Zoning Recommendations:

- Establish downtown local historic district through existing Heritage Preservation Commission.
- Guiding principals of downtown historic district is to preserve existing historic character and encourage new development that respects that character.
- Establish historic district design guidelines to accomplish guiding principals.
- Building height guidelines to allow replication of historic building scale and character.

- Building placement guidelines to maintain historic building frontages to street.
- Sign and awning design guidelines to complement historic building character.

2. Dangerous Buildings:

- Current ordinance has process in place to deal with dangerous buildings.
- Enforcement of ordinance is required to eliminate eyesore buildings.
- Existing dangerous buildings reflect poorly on the image of Canton.

3. Sidewalk Construction and Repair:

- Existing curb and sidewalk conditions are generally very poor and sometimes dangerous.
- These conditions reflect poorly on the image of Canton.
- Need a survey of curb and sidewalk conditions and establish priorities.
- Current ordinance puts all cost on adjacent landowners.
- Develop an approach to replacement with a mix of public and private funds.

City code review

1. Chapter 405-Zoning Code:

1.1. **Building Height:** Measured from highest point of flat roof or mean height between eave and ridge of sloped roof.

1.2. B-1 Central Business District:

A. **District boundaries:** Washington to Bland, and Second to Sixth Streets.

B. **Uses:** Very broad including any use in R-3 Multiple Family Dwelling district. Mixed use is permitted.

C. **Height: Two stories/30 feet.** A number of the existing historic buildings would not meet this code. The Central Business District has the lowest permitted height of the other adjacent districts. In order to encourage new development that would be consistent with the scale and character of the downtown, the ordinance should be revised to reflect the historic character. The IOOF lodge is three stories and the building that was at 4th and Clark corner was three stories.

D. **Setbacks:** Zero front and side yard setbacks required. Rear yard is minimum 20 feet except that a one story garage may be within 5 feet of the rear or alley lot line.

1.3. B-2 Highway Business District:

A. **District boundaries:**

1) East side of 4th St. south of Washington

2) West side of 4th St. north of Bland

B. **Uses:** Everything in B-2 plus everything except industrial.

C. **Height:** Three stories/35 feet.

D. **Setbacks:** 50 foot front yard, zero side yard, and 40 ft rear yard. Requires minimum 80 foot frontage and 10,000 sf lot.

1.4. L-1 Light Industrial:

A. **Boundaries:** I assume that this would be everything else to the railroad and levee.

B. **Uses:** Specific listed industrial uses. No residential permitted.

C. **Height:** Three stories/35 feet.

D. **Setbacks:** 25 foot front yard, 15 foot side yard, 20 foot rear yard.

E. **Planting:** Screen planting required along all street frontages.

1.5. R-2 Single Family District:

A. **District boundaries:** All of area surrounding B-1 district to the west up to the college and including both sides of White Street. This would include all of the traditional residential neighborhoods.

B. **Uses:** One-family dwellings. No provision for duplexes, etc. Schools, churches and related religious buildings, and libraries are permitted.

C. **Height:** 2 ½ stories/35 feet. Can go to 3 stories and 45 feet if 10 foot larger side and rear yards.

D. **Lot Size:** Minimum 7,500 sf and 65 foot width (115 foot depth).

E. **Setbacks:** 25 foot front yard, 10 foot side yard (10% or minimum 6 foot on existing lots less than 65 feet wide).

F. **Lot coverage:** Maximum 30%.

1.6. **Corner Lot:** There is a provision in all districts to maintain a diagonal cut out at the corner of two streets between 3 feet and 12 feet. The diagonal is measured 15 feet back from the corner.

1.7. **Signage:** The only regulations are for signs in the R-1 Residential district. Is there another ordinance covering signage?

1.8. Parking:

A. **Retail:** 3 spaces for first 1,000 sf and 5 per 1,000 sf after.

B. **Single and two family:** 1 space per dwelling unit.

C. **Three and more residential:** 1 ½ spaces per dwelling unit.

City code review - continued

2. Chapter 505-Dangerous Buildings:

- 2.1. The process and remedies are all in the ordinance including determination of dangerous condition, notification, public hearings and ultimately demolition by the city with the cost assessed to the property.
- 2.2. The resolution is the will to enforce the ordinance.

3. Chapter 407-Historic Districts:

- 3.1. Establishing HPC, procedures for establishing historic districts (District H-Historic) as an overlay zone. The ordinance may establish design guidelines covering uses, height, area, signage, parking, etc.
- 3.2. This could be the way to establish height, area and setback regulations that would respect the historic character of the downtown. The current regulations would not permit replication of a number of the historic downtown buildings.
- 3.3. The other method would be to modify the B-1 district regulations to allow buildings to be the same height as any existing building on the same block, and existing buildings on either street of a corner lot. The corner sightline provision would need to be omitted in the B-1 district to allow replication of the historic character of the buildings.

4. Chapter 510-Sidewalk Construction or Repair, and Street Repair:

- 4.1. All sidewalk construction and repair is the responsibility of the adjacent property owner and the cost would be a special assessment.
- 4.2. There is a provision for a revenue line item for "sidewalk improvement/replacement" and private citizens and companies can contribute.
- 4.3. The street repair article states that the adjacent property owner is responsible for all street, guttering and sidewalk repair and the cost would be a special tax assessment. The owners can do the repairs themselves or contract with the city.
- 4.4. The City considers that they are not responsible and have not done any repair or attempted to assess property owners for necessary repairs. The city may not have done a condition assessment. This issue will take some careful negotiations but must be resolved and the repairs done on a systematic basis.

Lewis Street light industrial infill (artisan park) and streetscape

There is an opportunity to redevelop portions of Lewis Street, east of 4th Street.



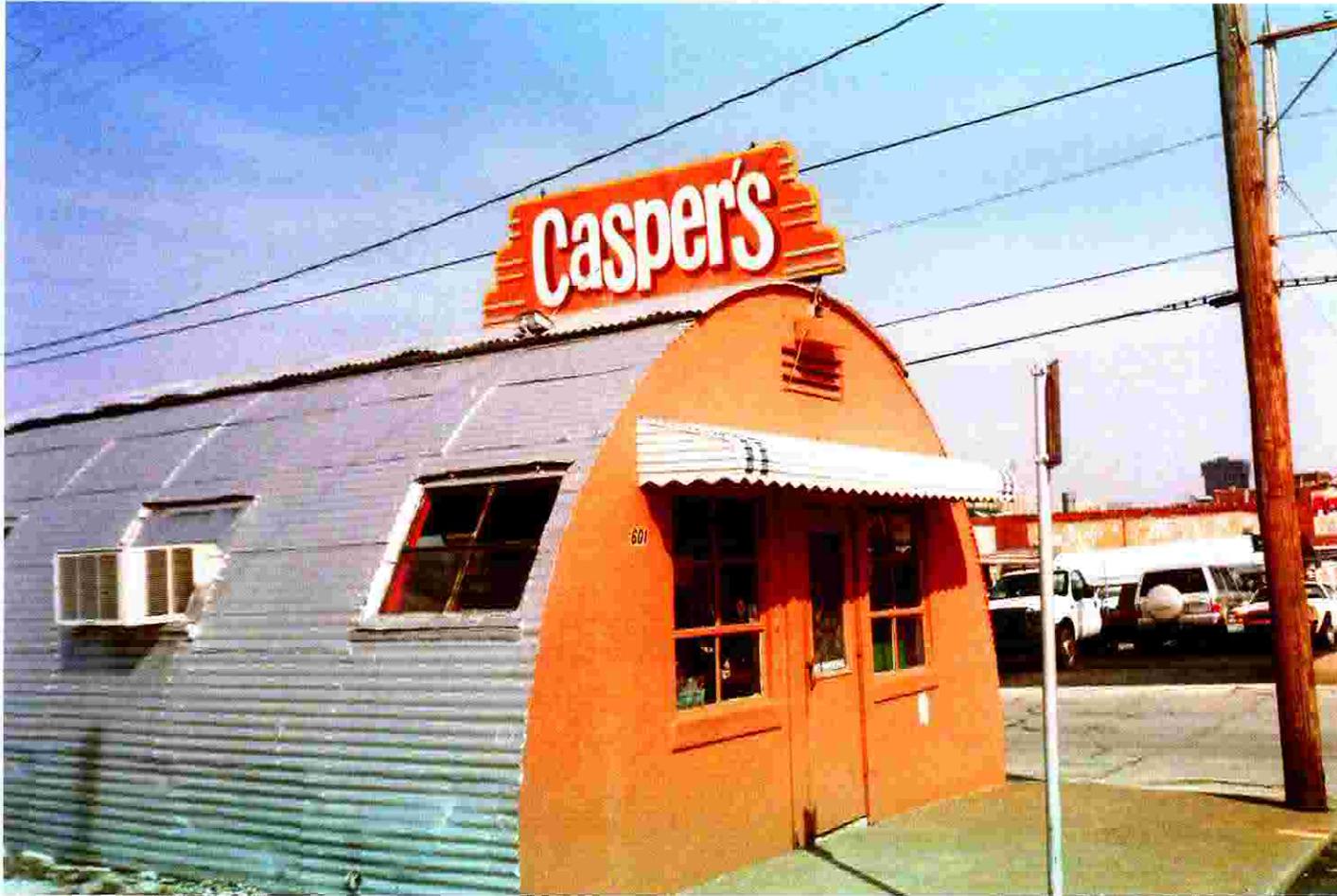
Conceptual Drawing

Lewis Street - *artisan industrial district*



Current Photo

Artisan industrial district - *example*



Current Photo

Artisan industrial district - *example*



Current Photo

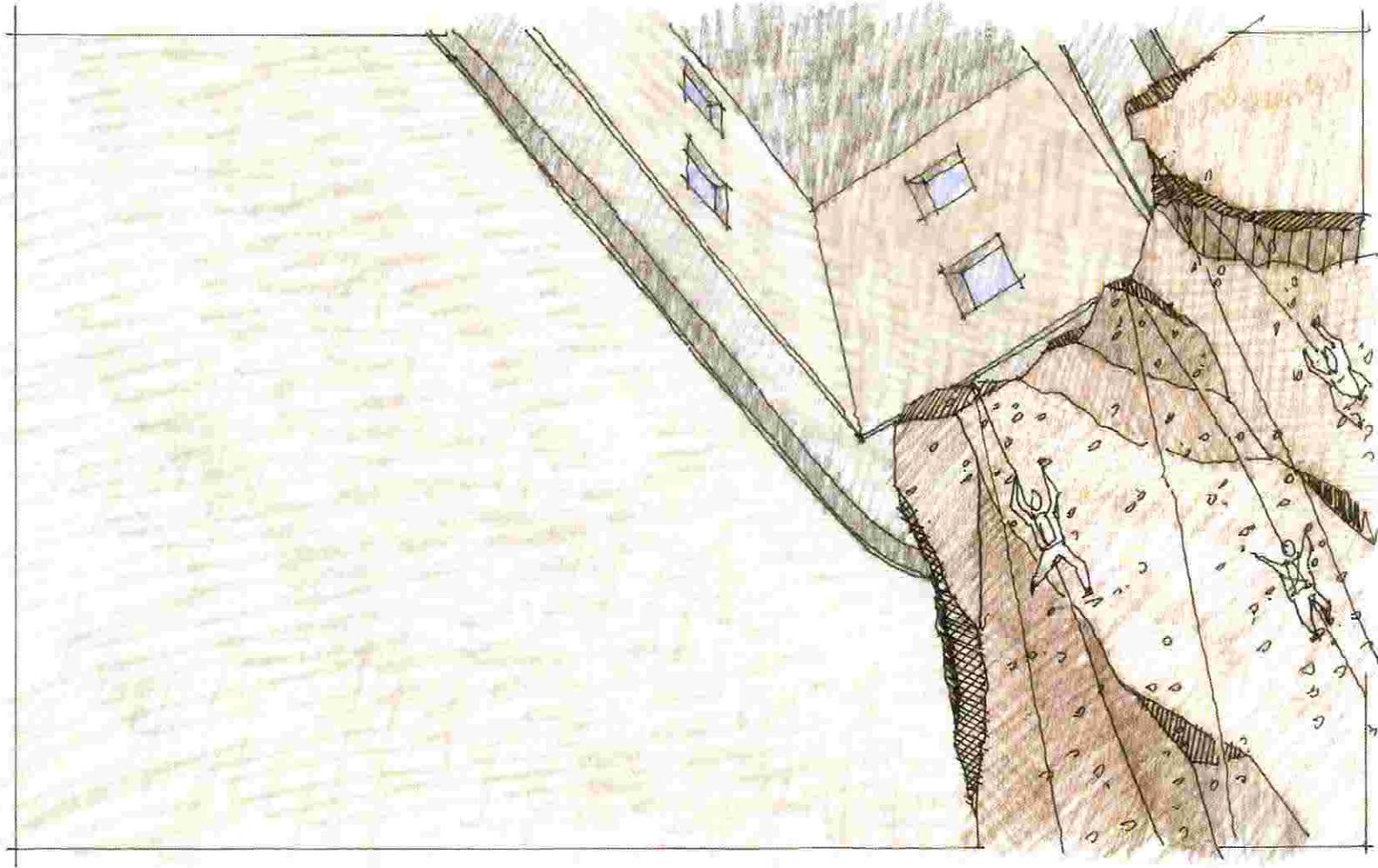
Canton community recreation center

This is a longer-term project. Develop a partnership with the Canton Community Athletic Association (CCCA), Canton R-V school district, City of Canton, Canton Area Arts Council, Canton Community Betterment Group (CCBG) and other appropriate entities to share the facilities.



Conceptual Drawing

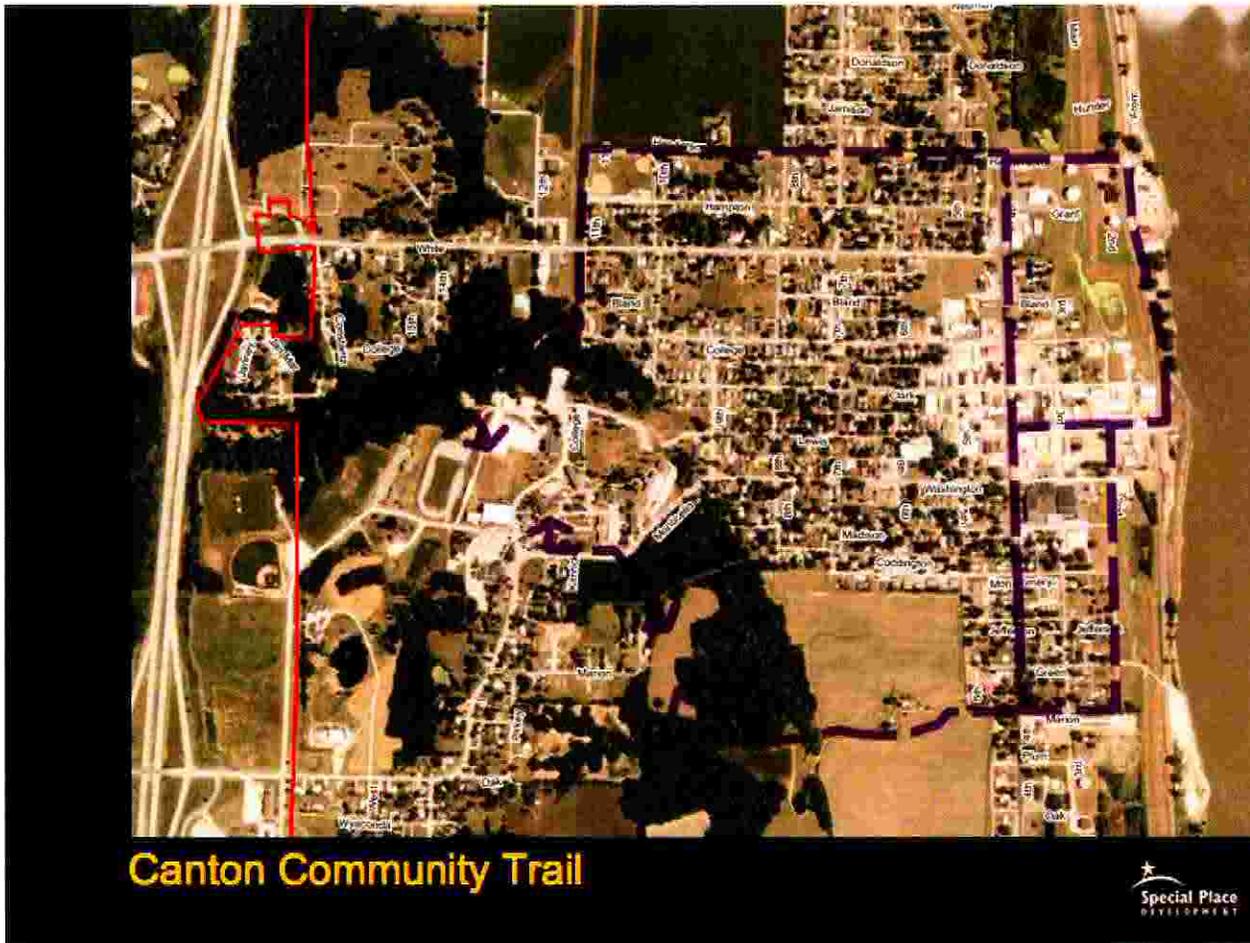
Silo climbing wall at recreation center



Conceptual Drawing

Community trail

The new trail project will connect the entire community – “Canton Riverwalk”, Lincoln School, new residential development, Culver-Stockton College, baseball field on White Street and the Mississippi River campgrounds. This project was identified as a need by students and community vision participants. Future MoDOT enhancement grants may construct the new trail to complement current bike path on 4th Street.



Aerial Photo - PowerPoint Slide

Levee walk and depot



Conceptual Drawing

Levee walk



Conceptual Drawing

Levee walk - overlooking town



Conceptual Drawing

Meadow housing - open space

The "meadow housing" concept allows for new construction while respecting and maintaining the agricultural heritage of the site. Please contact Michael Schroeder for more details on this concept.



Conceptual Drawing

Meadow housing - *looking toward river*



Conceptual Drawing

Meadow housing - street view



Conceptual Drawing

Business Assistance

Create a “Starting a Downtown Business” brochure. Seek financial support from the Lewis County Industrial Development Authority (IDA) for this project. (See brochure example from Clarksville, Missouri.) Include contact information (name, telephone number, address, email, etc.) for the following:

- Merchant’s license requirements
- Utility contacts for electricity, telephone, water, sewer, Internet, etc.
- Financial resources – banks, Lewis County IDA, etc.
- Building permit requirements
- Local contractors experienced in preservation-based construction. Include sign makers, roofers, electricians, tuck pointing contractors, plumbers and others that may be helpful for start-up businesses.
- Create a new incentive in the downtown district by waiving municipal utility costs for the first 1-4 months for new businesses. Cash flow is often a critical issue for new businesses and the likelihood of making it through the first year of operation is increased with a reduction of such start-up costs.

Downtown Trade Area

The retail trade area analysis focused on defining and describing the target market. Retail trade area is that area, typically around the store, from which the store derives most of its patronage.

Approximately twelve (12) downtown businesses shared the geographic region for their primary trade area. The primary trade area was defined as the location of customers that are driving 60%-70% of annual sales. The emphasis was on existing retail and restaurant businesses rather than service, insurance or financial institutions.

At this point, more analysis is required to determine specific new businesses that may be supported by the primary trade area of downtown Canton. However, all available resources and assistance should be made available to assist the private sector effort to locate a restaurant on the northwest corner

of 4th and Clark Streets. A dining establishment typically draws from a larger regional area than the primary trade area and will complement downtown entertainment. Other activities to focus on include private and public sector physical improvements in order to enhance the downtown district which will increase the likelihood of attracting customers from the secondary trade area.

Our observation indicates the top secondary markets include Quincy, Illinois (population 40,366) and Palmyra, Missouri (population 3,467). Additional data may need to be obtained to learn more about the behavioral and spending habits of potential customers in secondary markets.

A pharmacy was mentioned most often as the type of business needed in Canton. Please contact existing area pharmacies to determine their interest in an additional location. A Canton downtown business may also consider adding this service rather than an effort to create an entirely new business.

Priorities

Finalize and adopt the Vision for Downtown by partner organizations:

- City of Canton
- Culver-Stockton College
- Canton Community Betterment Group
- Chamber of Commerce
- Lewis County Industrial Development Authority
- Canton Community Athletic Association (CCAA)

Street Lights

Canton Community Betterment Group (CCBG) should partner with the City of Canton on the street lighting project. The initial focus should be on Lewis Street (from 4th – 5th) and 4th Street (from Lewis to Clark). Raise funds to design and construct customized lighting based on the historical images of downtown Canton. In order to ensure a quality project, hire an

experienced urban designer (Michael Schroeder, LHB, Inc.). It is essential that this first project set the bar for high quality rather than allowing cost to be the primary factor. Future activities will follow the example of the first project – good or bad! A ballpark estimate for this 2-block area is \$120,000 - \$150,000. Additional blocks may be phased in over time.

Facade Renderings

Provide architectural assistance for 2-4 property owners per year. Emphasize smaller, less expensive improvements such as signs, awnings, paint and facade improvements. In order to ensure a quality project, hire an experienced preservation-based architect (Bob Claybaugh, Claybaugh Preservation Architecture, Inc.). It is essential that the renovation projects set the bar for high quality rather than allowing cost to be the primary factor. You may require property owners to pay for half of the cost of such service. (See enclosed “facade grant” example from Kinston, North Carolina.)

Building Codes

Enforce existing building codes. There may not be a need for full-time staff, or funds, in any one town but a “circuit rider” approach may be feasible. Pursue a partnership with towns in the region to offset the cost. We are aware of the animosity that may present itself to a local resident that has to interact with friends and colleagues. To offset this challenge, consider hiring a non-local resident for a task that at times can be unpopular.

Investment Group

To address larger building rehabilitation projects, it may be necessary to establish an “Investment Group”. Create a process of “Request For Proposals” (RFP) to identify prospective properties. Solicit proposals from multiple properties in order to determine the best, most feasible project for the Investment Group. If one particular property is targeted, the owner could require an unrealistic asking price. By receiving multiple proposals (at a publicly established deadline), the Investment Group creates competition between property owners which may result in more realistic offers and purchase prices. You may wish to require participating property owners to provide a current appraisal in addition to the value determined by the Lewis County Assessor’s office to establish an appropriate purchase price. Be sure to conduct a solid on-site inspection of potential properties as

rehabilitation costs may often exceed the purchase price.

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- Create a new incentive in the downtown district by waiving municipal utility costs for the first 1-4 months for new businesses. Cash flow is often a critical issue for new businesses and the likelihood of making it through the first year of operation is increased with a reduction of such start-up costs.

Share the primary trade area data with downtown businesses. (The data is in a separate report.) Determine if there is a need, desire and willingness to undertake a complete downtown market analysis project. Retail market analysis is a tool for making “educated guesses” about a district’s economic condition and opportunities. A retail market analysis is not a detailed blueprint for action. In fact, retail market analysis is not an “exact” science at all. It is a tool for making the best possible educated guesses about the downtown district’s potential sales and for understanding who its most likely customers may be.

Arts

Place local artwork in window displays to enhance the visual appeal of Lewis Street. A nice connection on the south side of Lewis Street can be made utilizing the Canton Area Arts Council, The Frame Shop, Canton Public Library and the Janney building vacant storefront (2nd building east of the corner at 5th & Lewis).

The Springfield Regional Arts Council has come up with a great program for artists. They have contacted various Springfield landlords with appropriate vacant space to open it up to artists for the utility costs only. The arts council is sponsoring this program and taking care of the insurance, collecting the nominal rent which pays the utilities. "Storefront Studios" is just getting started but have already filled one property. It is a win-win situation for all involved. They have also started an artist registry that can be made available to individuals and organizations that are in need of beautiful local and regional original art. They are planning a spring "Trade Show" for interior designers and architects to showcase the artists and their work. For more information, please contact the arts council at –
Sandra@springfieldarts.org
[Example courtesy of Missouri Watercolor Society newsletter, www.mowsart.com]

Lincoln School

We did not create any immediate, short-term priority recommendations for this historic structure. However, we did not ignore it during our study. Please continue ongoing efforts to preserve and stabilize the building. Long-term activities could include use as a Canton Museum / Visitor Center, interpretive site and a location for a children's storytelling festival featuring Eleanora Tate. Also, continue to maintain a relationship with Robert Lear in order to develop the connection between Canton and his family.

Funding

Street Lights & Sidewalks – Community Development Block Grant (CDBG) Missouri Department of Economic Development; seek "match" from AmerenUE as part of their publicized \$702,000 investment in Lewis County. (573.751.3600, Andy Papen, MO DED)

Missouri Development Finance Board (MDFB) – utilize the "Infrastructure Development Fund". Donations for public improvements may receive 50% tax credits in the same format as the Lewis Street Playhouse Neighborhood

Assistance Program (NAP) project. For details go to www.mdfb.org/Programs/Tax%20Credits%20for%20Contributions.aspx or contact Mr. Bob Miserez, in Jefferson City, at 573.751.8479 or email, bob.miserez.mdfb@ded.mo.gov

Create link on web site to accept contributions for priority projects. Use "Pay Pal" system for credit card payments. It is much easier for investors (donors) to make a credit card payment than mailing a check – just ask "eBay"! State that Canton Community Betterment Group is a 501(c)3 not-for-profit corporation and "donations may be charitable contributions to the extent allowed by law".

Kennett Square, Pennsylvania
www.historickennettsquare.com/membershipinfo.html

Downtown Walla Walla, Washington
www.downtownwallawalla.com/AboutUs/donate.htm

Walla Walla Valley Federal Credit Union's Downtown Walla Walla Visa Card gives 1% to Downtown Walla. When customers use the new Downtown Walla Walla Visa 1% of all transactions are donated to the Downtown Walla Walla Foundation to fund continued revitalization of our award winning Downtown. Pick up your application today at the Downtown Walla Walla Foundation office at 33 E Main Suite # 213 or at the Walla Walla Valley Federal Credit Union 1603 Penny Lane.

Partner with Culver-Stockton College's alumni to "Adopt Downtown Canton" by creating a list of projects for investor opportunities (public and private activities). Notify C-SC alumni on their web site, at Homecoming and in the "Chronicle" Winter 2008 issue.

There may also be an opportunity for a corporate sponsor to participate in the lighting project. This should occur through individual conversations by appropriate parties.

Additional Resources

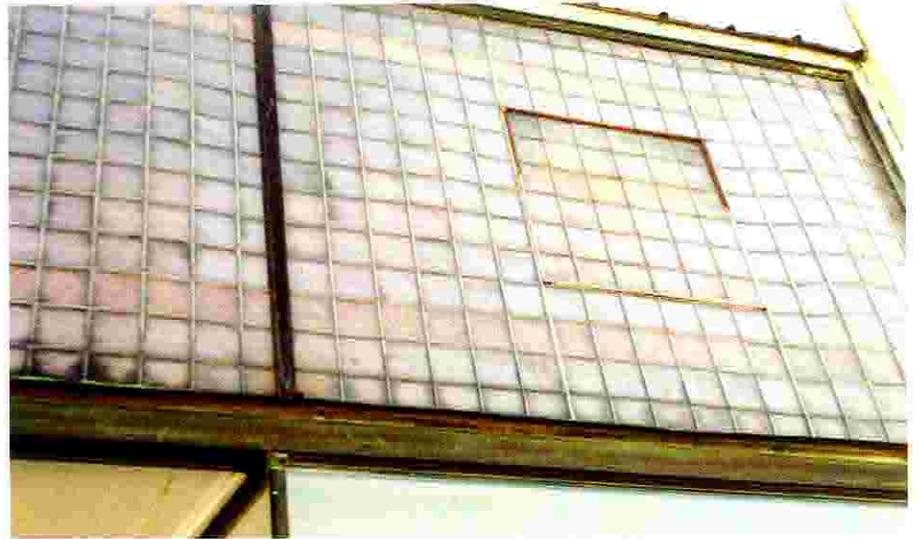
The development team met with many individuals and organizations during our visits. The following items may complement the above recommendations.

Volunteers

- Connect volunteer participation directly to the task to be accomplished rather than serving on a committee.
- Be specific
- Assign short-term finite tasks
- Avoid holding a lot of meetings
- When conducting meetings, adhere to an agenda, provide updates on the progress of projects, do not digress into “brainstorming” new ideas

Historic Preservation Commission

- Recognize 100-year old “Centennial Houses” in Canton
- Create a monthly “architectural treasure hunt” with the Press-News Journal. Identify discrete architectural features on downtown buildings and provide a prize to the first correct response. Solicit sponsors to provide a prize such as free latte and biscotti from Java Shack. The image (right) of a prism glass transom is an example.



- Provide member training during future commission meetings
- Identify contractors experienced in preservation-based construction
- Schedule an on-site visit with Jo Ann Radetic, Certified Local Government Coordinator, Missouri Department of Natural Resources (573.522.2473)
- Conduct survey of historic buildings
- Identify consultants to conduct the survey
- Collect photographs of old buildings (commercial & residential) for survey project
- Review materials on web links (multiple sites for local, state, federal)
www.dnr.mo.gov/shpo/Links.htm

Closing

Through the cooperation of the individuals and partners in the downtown effort, Special Place Development has provided creative concepts to begin addressing three elements important to Downtown Canton:

- Safety
- History/Heritage
- Connection to Nature

We recognize and thank the Lewis County Historical Society for the use of the historic streetlight photographs that appear in this document. We also thank Jarrod Phillips for the historic 4th Street photograph. Personal thanks are extended to my colleagues (Michael Schroeder, Bob Claybaugh & Arthur Mehrhoff) for their willingness to come together, cooperate and share 112+ years of experience for this worthwhile endeavor.

The entire Canton community is commended for their participation, support and financial resources required for completing the Downtown Vision and Development Strategy. This is truly a community project.

